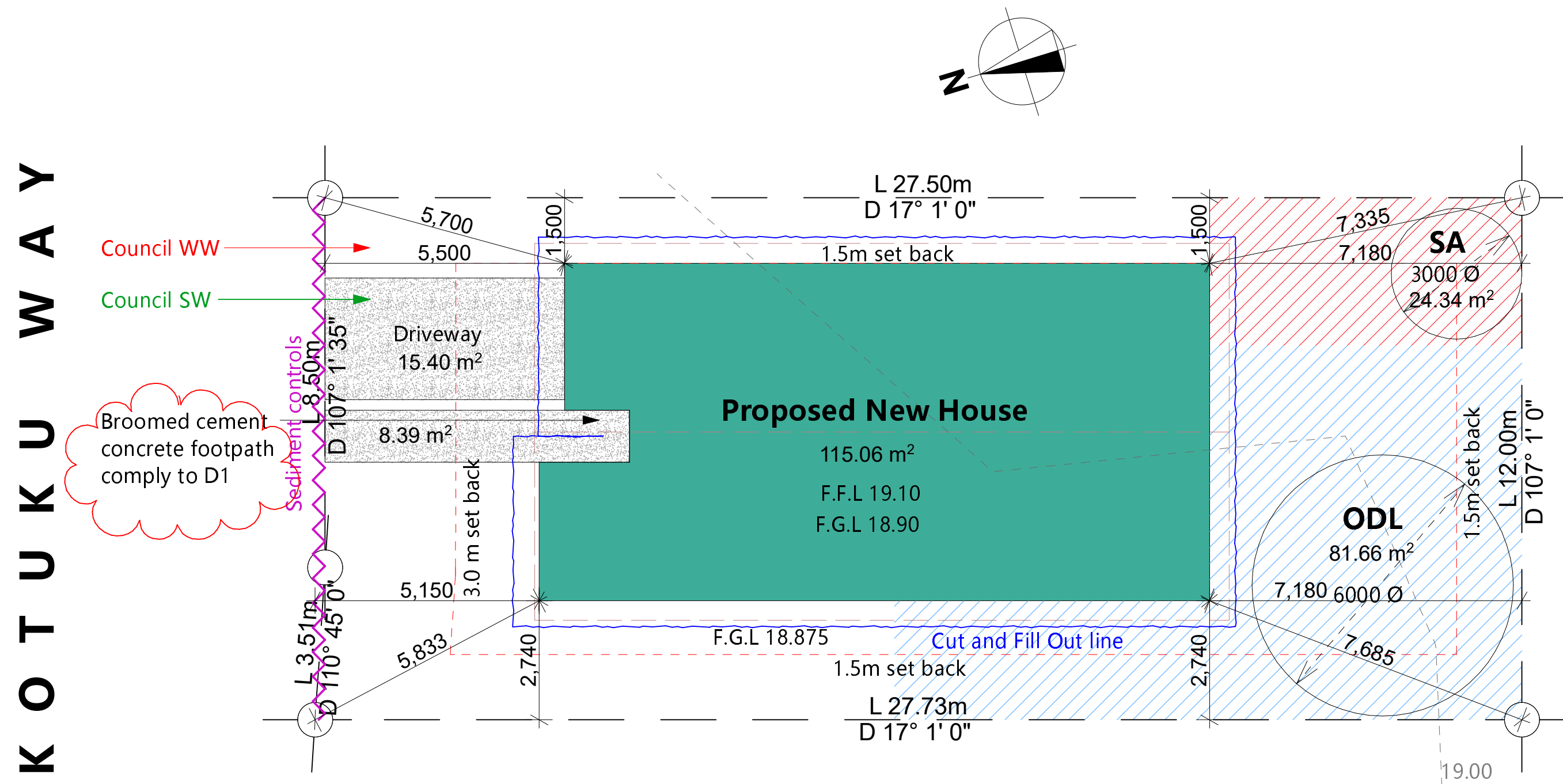
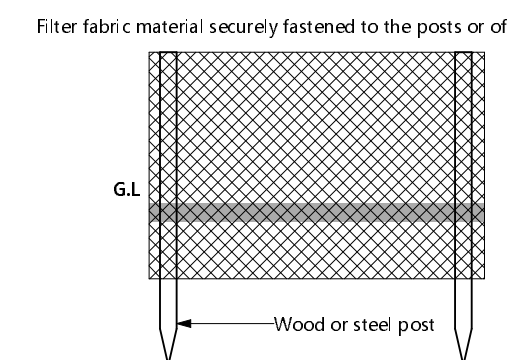




Broomed cement
concrete footpath
comply to D1

Waikato District Council
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APPROVED



S e d i m e n t c o n t r o l

Site Plan Notes:	
Legal Description	
Street:	12 Kotuku Way
Lot:	752
DPS:	576512
Site Area:	330.00 m2
Floor Area:	115.06m2
Site Coverage:	34.8%
Driveway:	23.79m2
Permeable Surface:	(330-115.06-23.79)/=58.1%
Wind Zone:	VH
Wind Region:	A
Earthquake Zone:	Zone 1
Exposure Zone:	Zone B
Climate Zone:	Zone 2
Zone:	Residential Zone
Site Note:	
1	Contractor to double check datum and all levels.
2	Refer to survey plan for accurate contours.
3	Drain layer to locate connection on site before coming works.
4	Sand pad refer to attached geotech report by engineer.
6	All site dimensions are to outside edge of slab.
7	All works to comply with current NZS 3604 2011 & NZBC.
8	Overall frame or slab dimension to allow for 6mm bottom plate overhang.
9	Site fence required during the construction to comply with NZBC F5.

K E Y :

Outdoor Living area

Service area

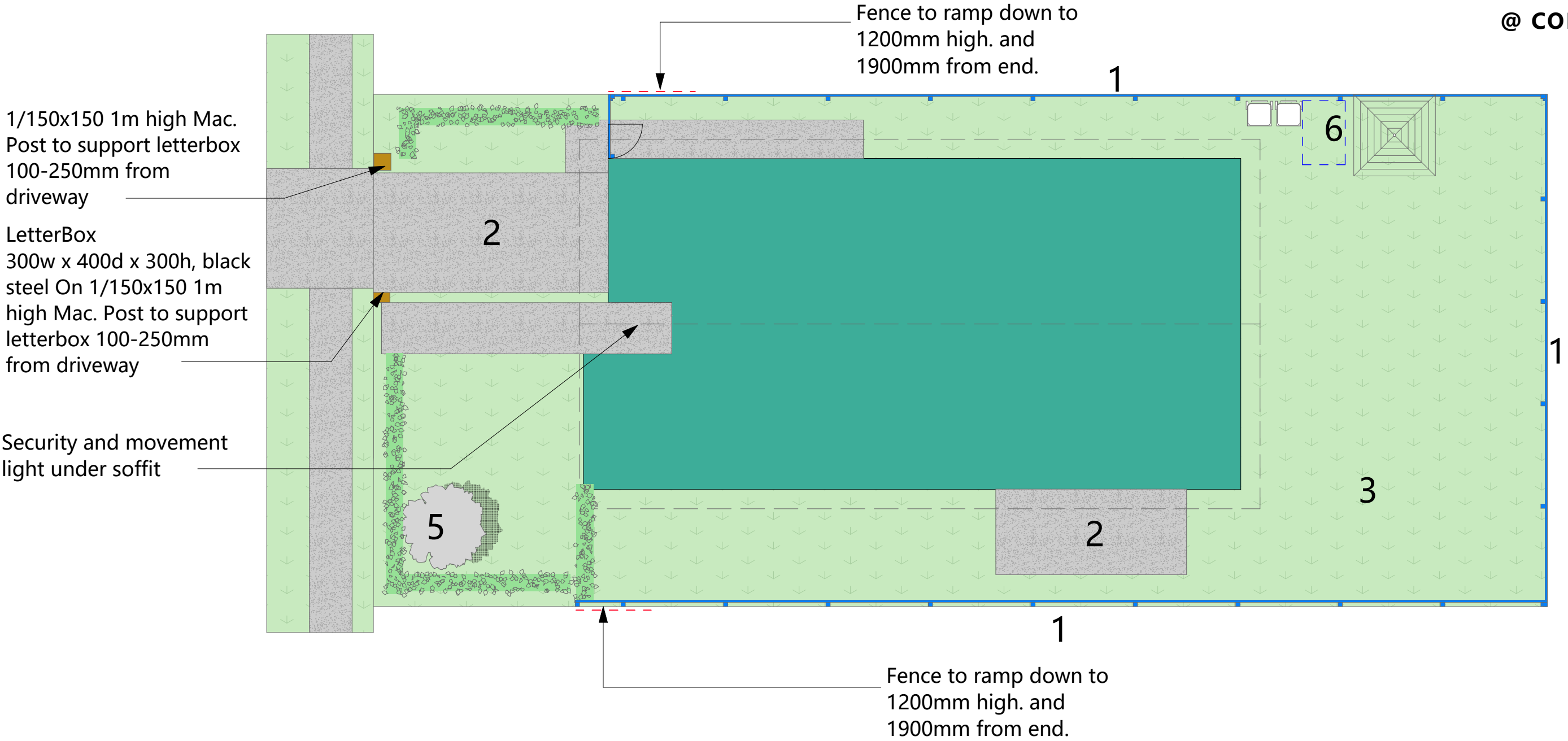
Concrete driveway

Earthwork:

Area: 120m²

Cut deep: 0.2m (Soil report)

Volume: 36m3

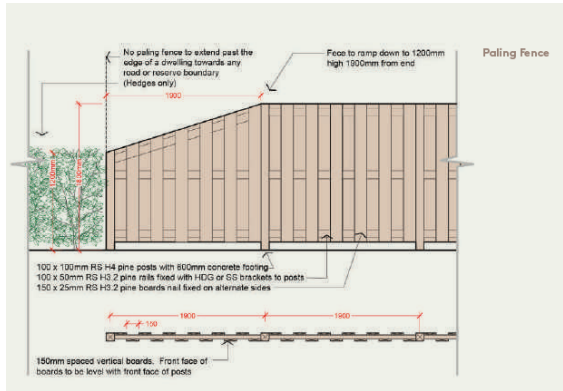


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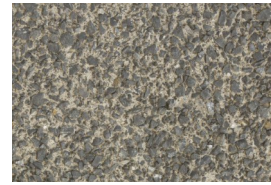
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1 1.8m privacy timber fence at backyard

- Vertical timber paling fencing to a finished height of 1.8m above existing ground level is to be erected on each common boundary to a residential lot. Fencing is to be as per the detail below. Existing ground level means ground level at the time of title issue.



2 Concrete



3 Lawn area



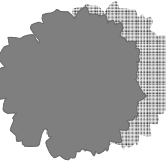
4 Hedge plants(Griselinia littoralis)

- All common boundaries with a road, access lot, reserve or residential lot where paling fencing is not permitted must be planted with a hedge offset 400mm inside the boundary.
- Hedge plants are to be a minimum of 1000mm high at the time of planting and a maximum of 600mm apart.
- Hedging is to be clipped and maintained to a height of 1200-1800mm.



5 Magnolia Tree(Min PB150 or 2m+)

- Trees are to be at least 2.5m in height at time of planting.
- No trees over 4m are allowed within 2m of a neighbouring residential lot.



6 Garden sheds or other structures over 1.8m in height are only permitted with prior written approval from Lakeside Developments (Only Potential Location)

DO NOT SCALE DRAWINGS.
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J&J Architecture

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EMAIL: jeff@jjarchi.co.nz

Site Landscaping Plan

Project **LOT 752**
12 Kotuku Way

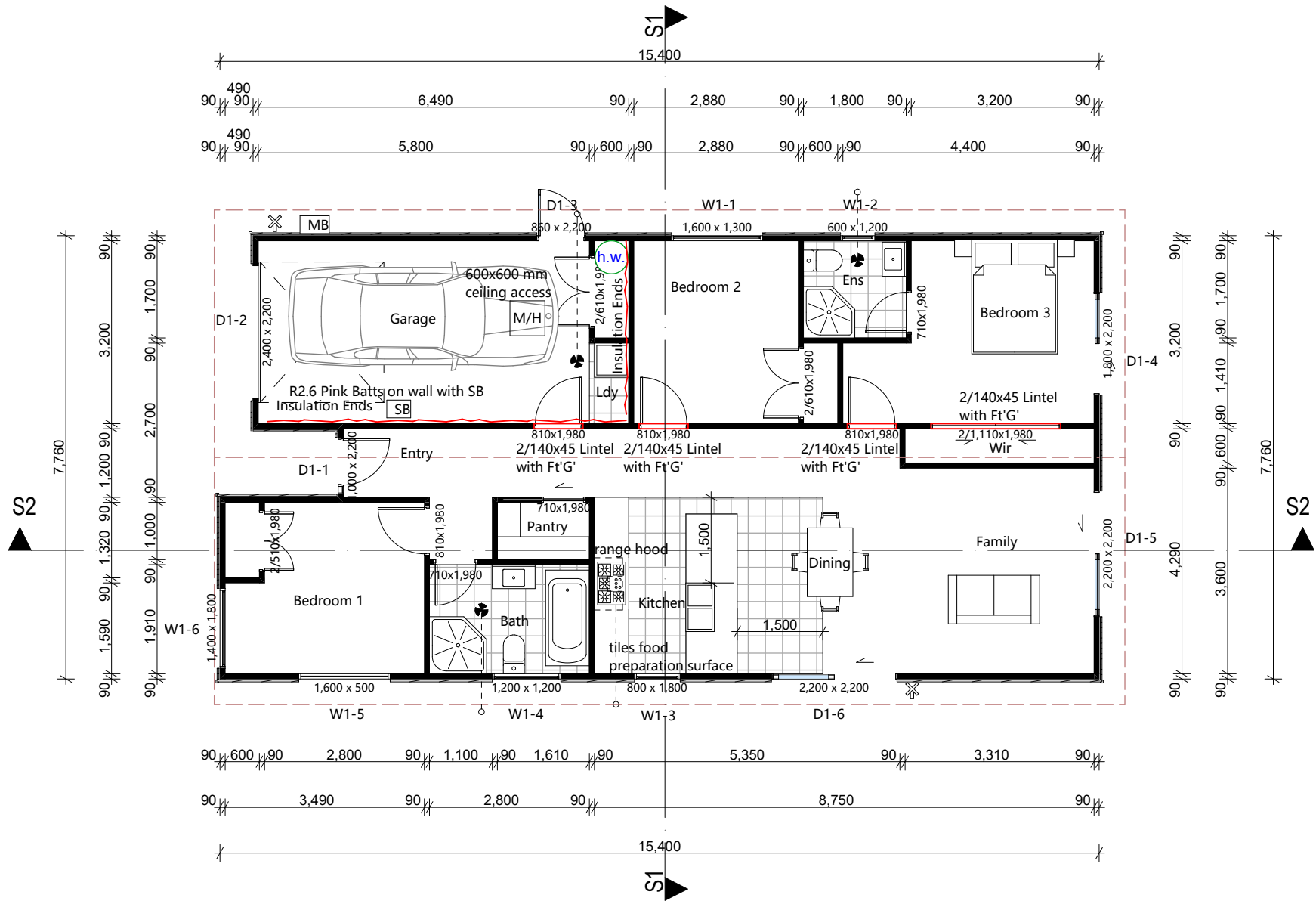
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Insulation	
90 Frame External Walls: R2.2 Wall Insulation Trusses Roof Area: R7.0 Roof insulation R3.6 Roof insulation on edge Meter Box: Kingspan KS1000RW Foundation: R1.2 Firth Ribraft Floor	
Timber Treatment	
Timber	Treatment
Wall Frame	H1.2
Wet Area Wall Frame	H3.2
Trusses	H1.2
Finishes	
Skirting:	60x10 PINE SINGLE BEVEL
Architrave:	60x10 PINE SINGLE BEVEL
Scotia:	75 Gib Cove
Wet Area	
ARDEX-Applicator-Guang Zhou-0462 Wet area to be waterproofing with "ARDEX" membrane under tile area. Install waterproof membranes to: 1800mm above shower.300mm minimum up the wall behind the cavity, and 1500mm above the F.F.L.	
K E Y :	
Smoke Detector	*
Out door Tap	☼
Switch Board	[SB]
Meter Board	[MB]
Ceiling Access	[M/H]
Rinnai Gas HW System	[GAS]
Air Conditioner Outlet	[AIR]
Exhaust Fan	☼
Flow rates a) 25 L/s for showers and baths, and b) 50 L/s for cooktops.	

- Floor Plan Notes:**
- All works to comply with NZS 3604:2011 and NZBC.
 - Do Not scale off drawing.
 - Contractor shall verify and be responsible for all dimensions on site.
 - Architects to be notified of any variation between site dimensions and those on plans.
 - These drawings remain the property of J&J Architecture Ltd. And Should not be copied in any form or passed on to a third party without prior written consent.
 - Kitchen facilities to comply with NZBC G3/AS1.
 - Laundry facilities to comply with NZBC G2/AS1.
 - All wet area must to comply with NZBC E3/AS1.and concrete tile over all.
 - External Moisture to comply with NZBC E2/AS1
 - Internal Moisture to comply with NZBC E3/AS1
 - All smoke Alarm to be interconnected smoke alarms to comply with NZBC C1/AS1 and NZS4514:2001.
 - STUDS & STUD HEIGHTS:
- All walls to be 90x45 SG8 studs @ 600 crs (2455mm stud height).Nogs @ 800mm crs (max).
 - All bottom plates to be H1.2 90x45, fixed with LUMBERLOK BOTTOM PLATE FIXINGS anchor in galv mild steel.
 - All showers to be safety glass panel with ceramic tiles to comply with F2/AS1.
 - All internal wall linings to be 10mm GIB standerd. and ceiling to be 13mm GIB standerd over 70x35mm ceiling batten.All wet area to be 10mm GIB AQUALINE.
 - All External windows and doors to be aluminium joinery. and it have to be comply with NZS 4223:part3:2016 for safty glazing and comply with NZBC E2/AS1.
 - All External windows and doors to be aluminium joinery. and all Glass to be Doubled / Low E3 / Clear with Gas Argon. and all aluminium frame to be thermally broken. it have to be comply with NZBC H1.
 - All Frist Floor windows opening to be have restricor fitted.
 - All ventilation to be comply with G4/AS1 & AS1668.
 - All internal door to be 1980mm height.
 - All Ceiling batten need to be 70x35 H1.2 @ 600 crs with 13mm Gib, or @ 400 crs with 10mm Gib.

Window & Door Schedule					
W&D #	Size HxW	Glazing	G/Type	Lintel Size	Lintel Fixing
D1-1	2200x1000	Double	Opaque/Safety	2/90x45	F
D1-2	2200x2400		Sectional	2/190x45	G
D1-3	2200x860	Double	Opaque/Safety	2/90x45	F
W1-1	1300x1600	Double	Clear	2/140x45	F
W1-2	1200x600	Double	Opaque/Safety	2/90x45	F
D1-4	2200x1800	Double	Clear/Safety	2/140x45	F
D1-5	2200x2200	Double	Clear/Safety	2/240x45	H
D1-6	2200x2200	Double	Clear/Safety	2/240x45	G
W1-3	1800x800	Double	Clear/Safety	2/90x45	F
W1-4	1200x1200	Double	Opaque/Safety	2/90x45	F
W1-5	500x1600	Double	Clear	2/140x45	F
W1-6	1800x1400	Double	Clear/Safety	2/140x45	F

ALL THE WINDOW AND DOOR HEIGHT TO BE 2200mm. ALL SIZES TO BE MEASURED ON SITE BEFORE FABRICATION. CONSULT WITH OWNER AT FINAL MEASURE.

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Project

Ground Floor Plan

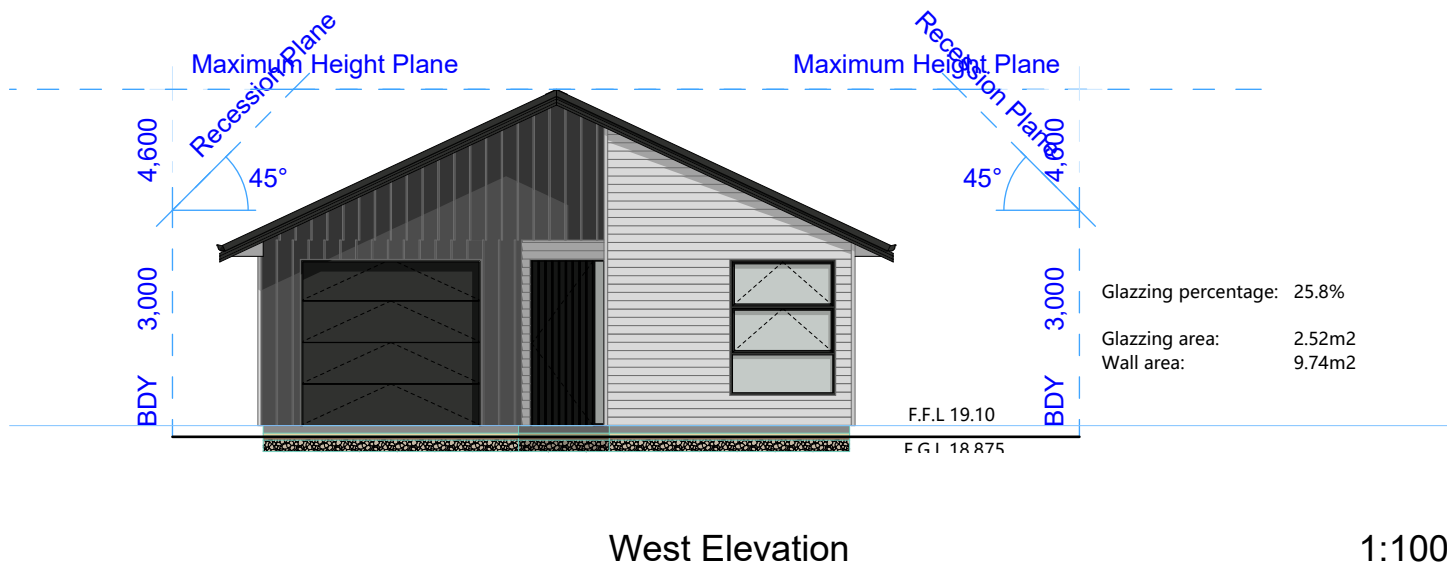
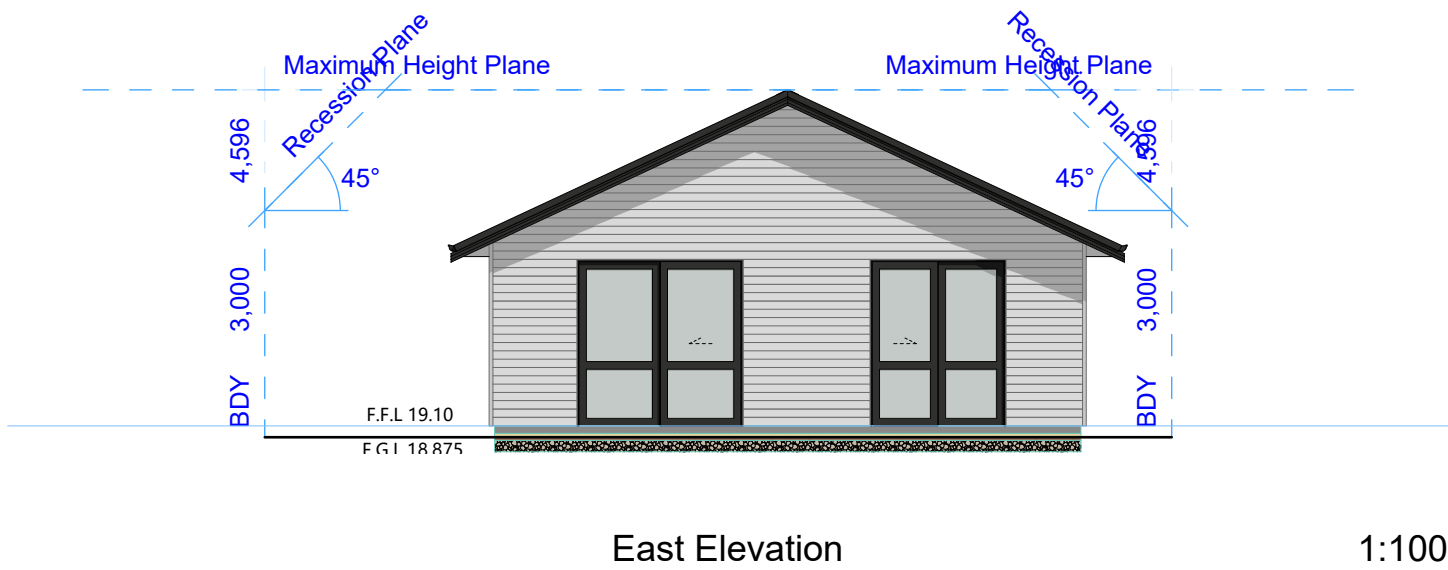
LOT 752

12 Kotuku Way

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- Cladding Notes:**
- 1 Selected BGC Nuline™ Plus W/B with 20mm cavity over "THERMAKRAFT WATERGATE Plus 295" building paper. Which show on the elevation.
 - 2 Selected BGC Stratum™ with 20mm cavity over "THERMAKRAFT WATERGATE Plus 295" building paper. Which show on the elevation.
 - 3 Selected Colorsteel Longrun Roofing over "Thermakraft Covertex 401" roof underlay with 25° roof pitch. Which show on the elevation.
 - 4 Selected COLORSTEEL 1/4 ROUND GUTTER over COLORSTEEL FASCIA. With 100mm Dia downpipes. Which show on the elevation. **All downpipe will match wall colour on which they are mounted.**
 - 5 Refer to window and door schedule for joinery tapes and size.



Risk Factor	Description	Risk	Score
Wind Zone	Very High	H	2
Number of Storeys	Single Storey	L	0
Roof/Wall Intersection Design	Fully exposed (e.g. parapets, exposed boundaries or eaves at greater than 90 degrees to soffit lining)	H	3
Eaves Width	450mm - 600mm wide	M	1
Envelope Complexity	Moderately complex shape with no more than 2 cladding types.	M	1
Deck Design	None	L	0
		Total Score:	7

- Selected Claddings:**
1. Bevel back timber weatherboard over nominal 20mm drained cavity
 2. Bevel back timber weatherboard direct fixed

Cladding LEGEND:

Selected Colorsteel Longrun Roofing			Dulux Ebony LRV Values 5
Selected Stratum™ Weatherboard with 20mm cavity			Dulux Manorburn Colour Values R 208 G 209 B 206 LRV Values 67
Selected Nuline™ Plus Weatherboard with 20mm cavity			Dulux Shag Rock Colour Values R 96 G 92 B 88 LRV Values 15
All External window and door frame			Dulux Ebony LRV Values 5

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Elevations

Project

LOT 752
12 Kotuku Way

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