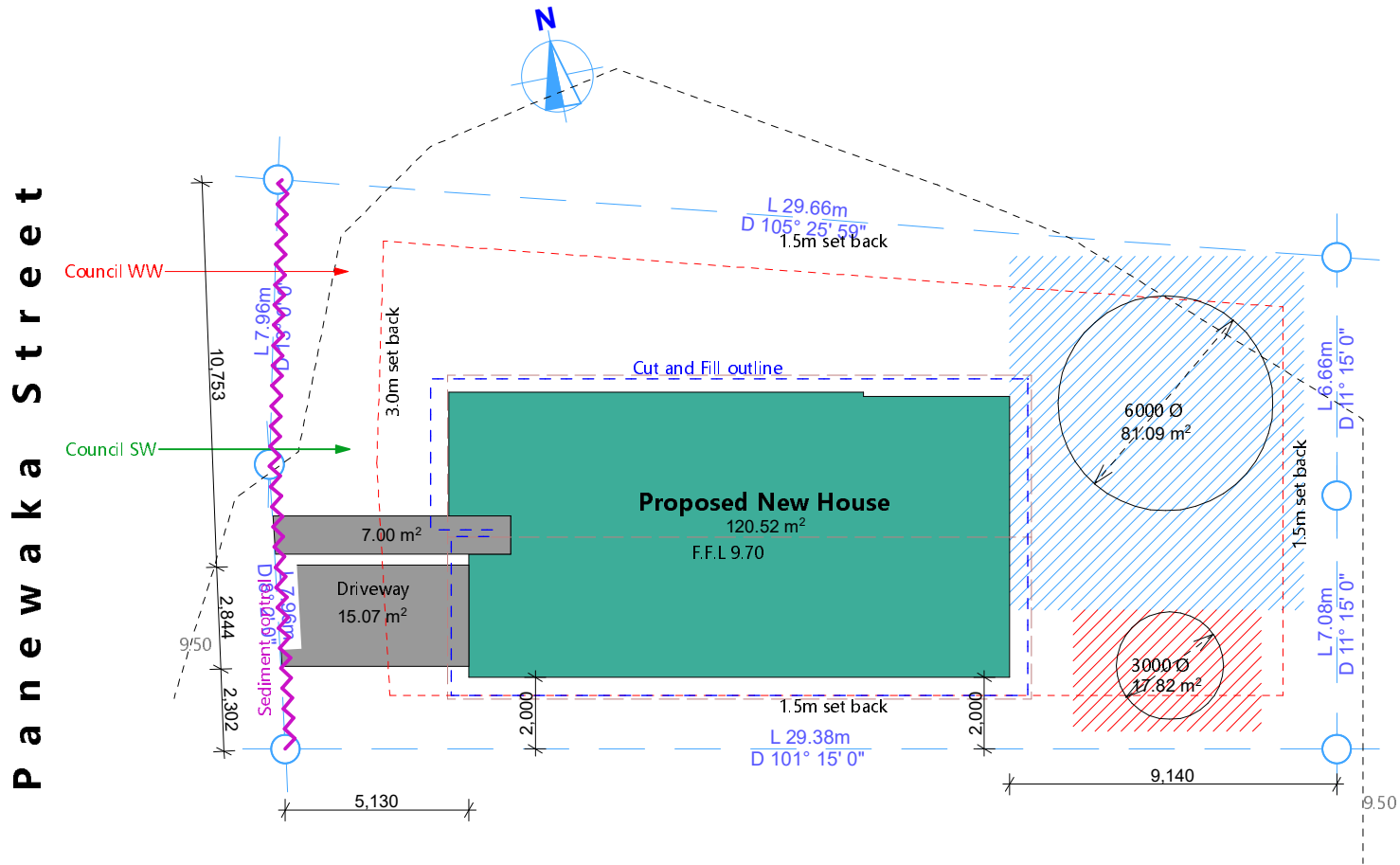




Site Plan Notes:	
Legal Description	
Street:	40 Panewaka Street
Lot:	191
DPS:	551331
Site Area:	439.00 m2
Floor Area:	120.52 m2
Site Coverage:	27%
Driveway:	23.04m2
Impermeable Surface:	33%
Wind Zone:	H
Wind Region:	A
Earthquake Zone:	Zone 1
Exposure Zone:	Zone B
Climate Zone:	Zone 2
Zone:	Residential Zone

- Site Note:**
- Contractor to double check datum and all levels.
 - Refer to survey plan for accurate contours.
 - Drain layer to locate connection on site before coming works.
 - Sand pad refer to attached Geotech report by engineer.
 - All site dimensions are to outside edge of slab.
 - All works to comply with current NZS:3604 2011 & NZBC.
 - Overall frame or slab dimension to allow for 6mm bottom plate overhang.
 - Site fence required during the construction to comply with NZBC F5.

K E Y :	
Outdoor Living area	
Service area	
Concrete driveway	

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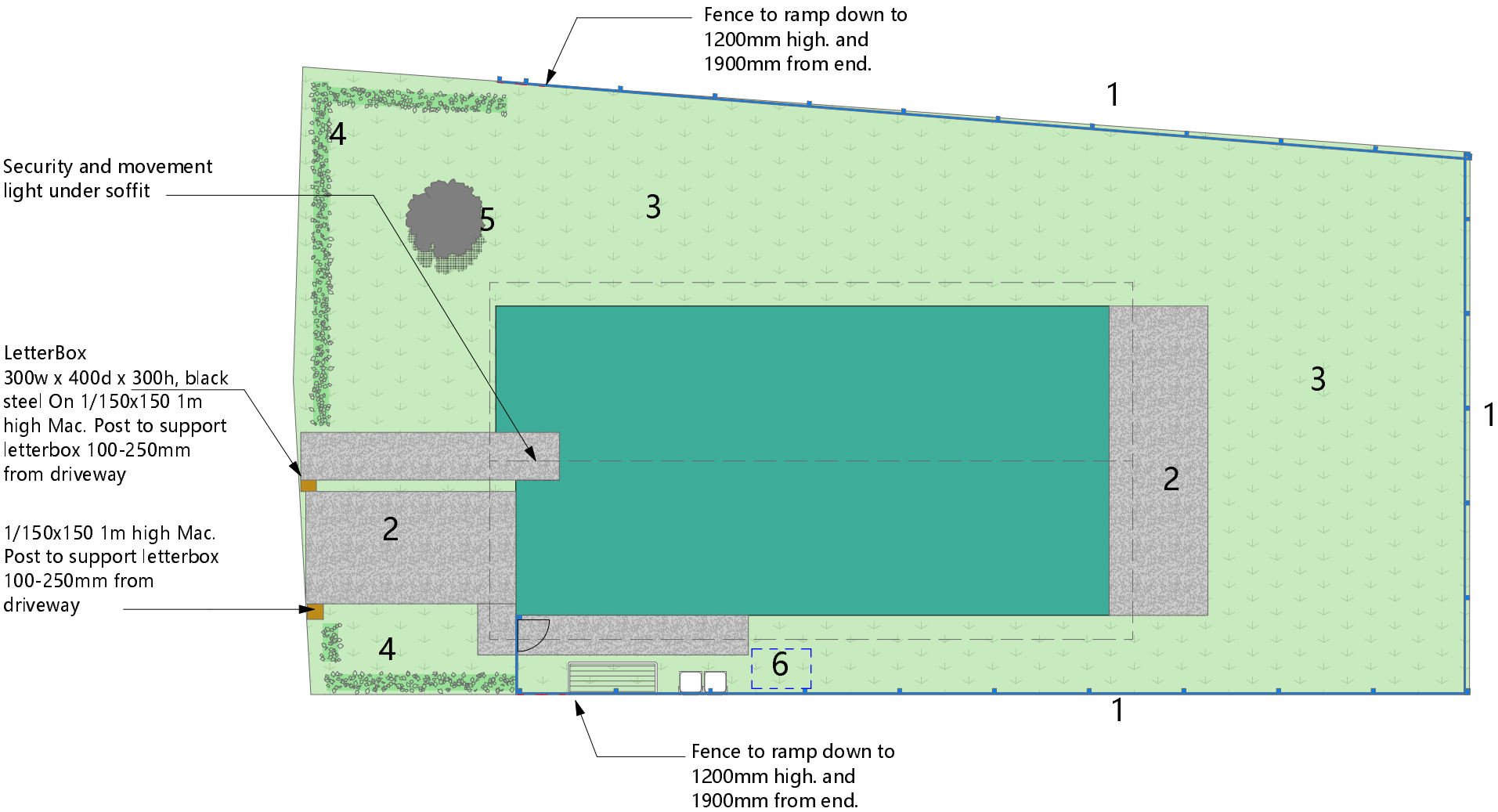
Site Plan

Project

LOT 191,
40 Panewaka Street,
Te Kauwhata

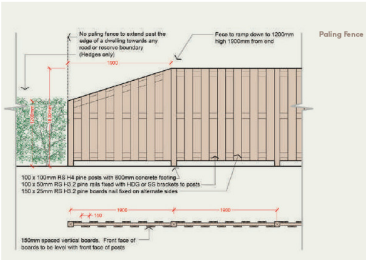
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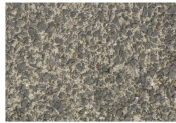


1 1.8m privacy timber fence at backyard

- Vertical timber paling fencing to a finished height of 1.8m above existing ground level is to be erected on each common boundary to a residential lot. Fencing is to be as per the detail below. Existing ground level means ground level at the time of title issue.



2 Concrete



3 Lawn area



4 Hedge plants(Griselinia littoralis)

- All common boundaries with a road, access lot, reserve or residential lot where paling fencing is not permitted must be planted with a hedge offset 400mm inside the boundary.
- Hedge plants are to be a minimum of 1000mm high at the time of planting and a maximum of 600mm apart.
- Hedging is to be clipped and maintained to a height of 1200-1800mm.



5 Magnolia Tree(Min PB150 or 2m+)

- Trees are to be at least 2.5m in height at time of planting.
- No trees over 4m are allowed within 2m of a neighbouring residential lot.



6 Garden sheds or other structures over 1.8m in height are only permitted with prior written approval from Lakeside Developments (Only Potential Location)

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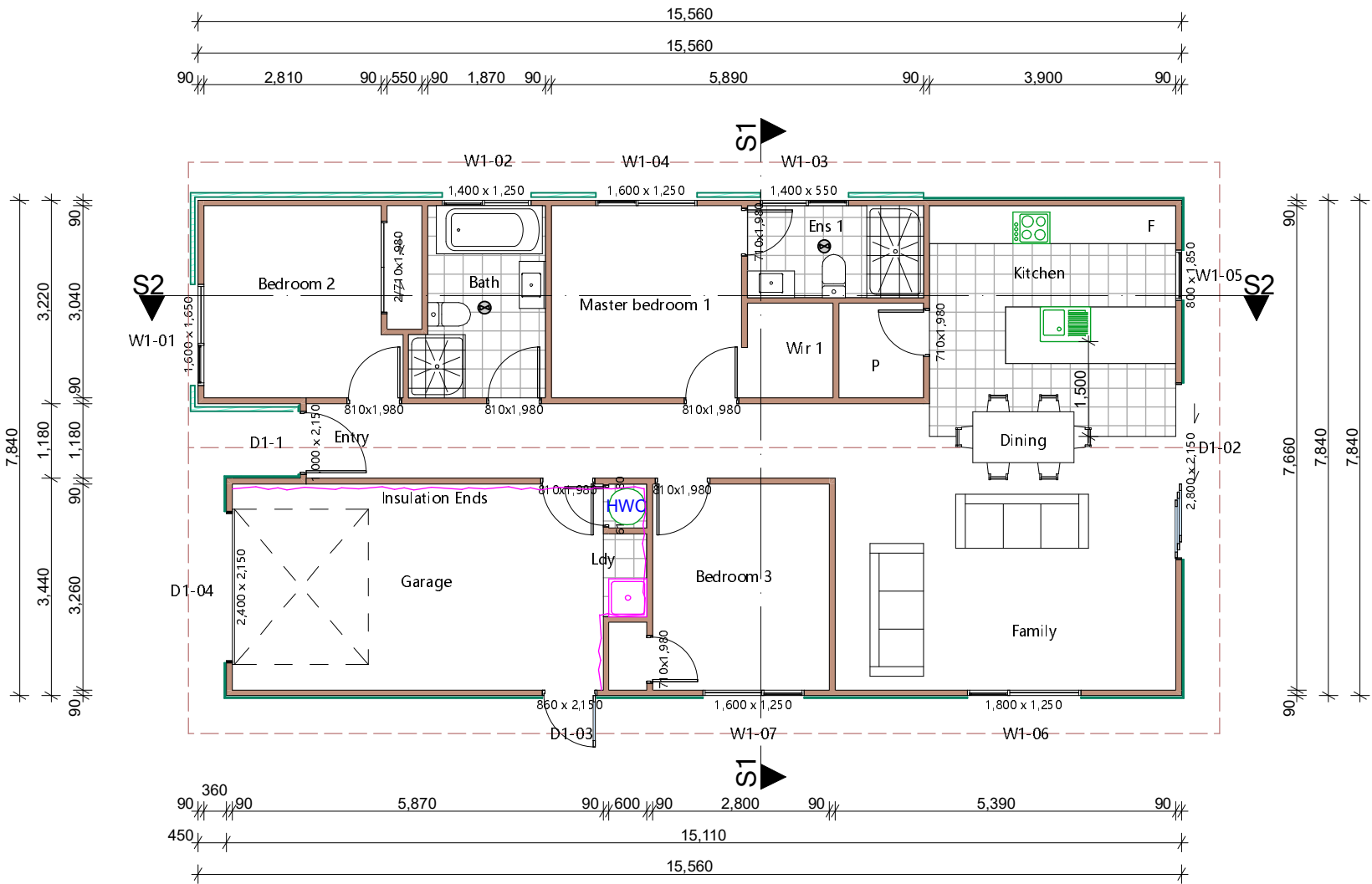
Site Landscaping Plan

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40 Panewaka Street,
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Window & Door Schedule					
W&D #	Size HxW	Glazing	G/Type	Lintel Size	Lintel Fixing
D1-01	2150x1000	Double	Clear/Safety	2/90x45	F
W1-01	1650x1600	Double	Clear	2/190x45	F
W1-02	1250x1400	Double	Opaque/Safety	2/190x45	F
W1-03	550x1400	Double	Opaque/Safety	2/190x45	F
W1-04	1250x1600	Double	Clear/Safety	2/190x45	F
W1-05	1850x800	Double	Clear	2/90x45	F
D1-02	2150x2800	Double	Clear/Safety	2/240x45	F
W1-06	1250x1800	Double	Clear	2/240x45	F
W1-07	1250x1600	Double	Clear	2/190x45	F
D1-03	2150x860	Double	Clear/Safety	2/140x45	F
D1-04	2150x2400	Sectional		2/240x45	F

ALL THE WINDOW AND DOOR HEIGHT TO BE UP TO SOFFIT. ALL SIZES TO BE MEASURED ON SITE BEFORE FABRICATION. CONSULT WITH OWNER AT FINAL MEASURE.

Insulation		Floor Plan Notes:	
90 Frame External Walls: R2.2 Wall Insulation Trusses Roof Area: R7.0 Roof insulation R3.4 Roof insulation on edge Meter Box: Kingspan KS1000RW Foundation: Rib rafter Concrete Floor		1 All works to comply with NZS 3604:2011 and NZBC. 2 Do Not scale off drawing. 3 Contractor shall verify and be responsible for all dimensions on site. 4 Architects to be notified of any variation between site dimensions and those on plans. 5 These drawings remain the property of J &J Architecture Ltd. And Should not be copied in any form or passed on to a third party without prior written consent.	
Timber Treatment		6 Kitchen facilities to comply with NZBC G3/AS1. 7 Laundry facilities to comply with NZBC G2/AS1. 8 All wet area must to comply with NZBC E3/AS1 and concrete tile over all. 9 External Moisture to comply with NZBC E2/AS1 10 Internal Moisture to comply with NZBC E3/AS1 11 All smoke Alarm to be interconnected smoke alarms to comply with NZBC C1/AS1 and NZS4514:2001.	
Timber	Treatment		
Wall Frame	H1.2		
Wet Area Wall Frame	H3.2		
Trusses	H1.2		
Finishes		12 STUDS & STUD HEIGHTS: - All walls to be 90x45 SG8 studs @ 600 crs (2455mm stud height). Nogs @ 800mm crs (max). - All bottom plates to be H1.2 90x45, fixed with LUMBERLOK BOTTOM PLATE FIXINGS anchor in galv mild steel. 13 All showers to be safety glass panel with ceramic tiles to comply with F2/AS1.	
Skirting:	60x10 PINE SINGLE BEVEL		
Architrave:	60x10 PINE SINGLE BEVEL		
Scotia:	75 Gib Cove		
Wet Area		14 All internal wall linings to be 10mm GiB standard. and ceiling to be 13mm GiB standard over 70x35mm ceiling batten. All wet area to be 10mm GiB AQUALINE.	
ARDEX Wet area to be waterproofing with "ARDEX" membrane under tile area. Install waterproof membranes to 1800mm above shower. 300mm minimum up the wall behind the cavity. and 1500mm above the F.F.L.		15 All External windows and doors to be aluminium joinery. and it have to be comply with NZS 4223:part3:2016 for safety glazing and comply with NZBC E2/AS1.	
K E Y :		16 All External windows and doors to be aluminium joinery. and all Glass to be Doubled / Low E3 / Clear with Gas :Argon. and all aluminium frame to be thermally broken. it have to be comply with NZBC H1. All Frist Floor windows opening to be have restrictor fitted.	
Smoke Detector		17 All ventilation to be comply with G4/AS1 & AS1668.	
Out door Tap		18 All internal door to be 1980mm height.	
Switch Board		19 All Ceiling batten need to be 70x35 H1.2 @ 600 crs with 13mm Gib, or @ 400 crs with 10mm Gib.	
Meter Board			
Ceiling Access			
Rinnai Gas HW System			
Air Conditioner Outlet			
Exhaust Fan			
Flow rates a) 25 L/s for showers and baths, and b) 50 L/s for cooktops.			

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Ground Floor Plan

Project

LOT 191,
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Te Kauwhata

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North Elevation

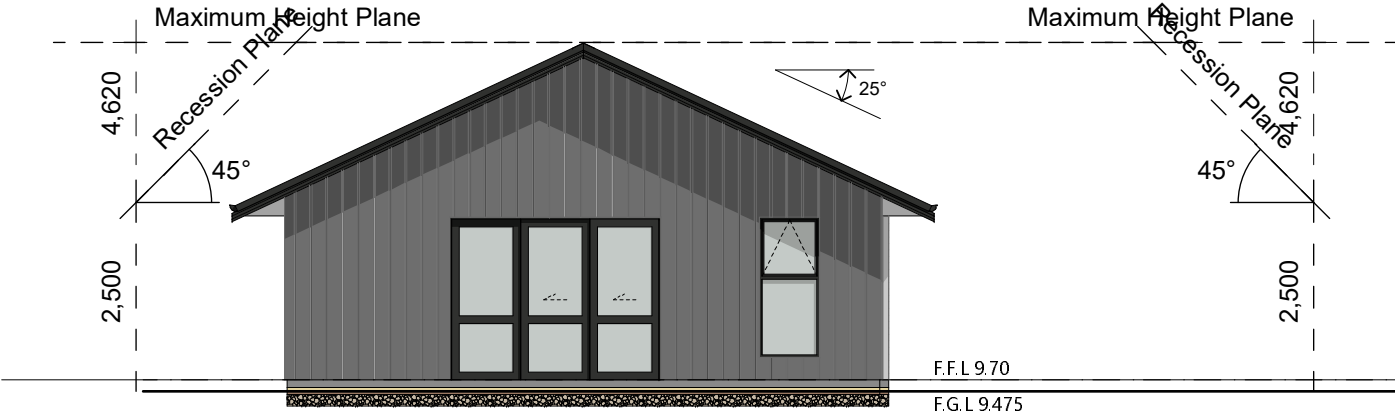
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- Cladding Notes:**
- 1 Selected 70mm Midland Brick with 50mm cavity over "THERMAKRAFT WATERGATE Plus" building paper. Which show on the elevation.
 - 2 Selected BGC Stratum™ with 20mm cavity over "THERMAKRAFT WATERGATE Plus" building paper. Which show on the elevation.
 - 3 Selected Colorsteel Longrun Roofing over "Thermakraft Covertex 401" roof underlay with 250 roof pitch. Which show on the elevation.
 - 4 Selected COLORSTEEL 1/4 ROUND GUTTER over COLORSTEEL FASCIA. With 80mm Dia downpipes. Which show on the elevation.
 - 5 Refer to window and door schedule for joinery tapes and size.

Tie Spacings

Veneers up to 140 kg/m² [70 mm thick veneers]

Horizontally	400 mm crs into studs
Vertically	400 mm crs max.
Openings	Within 200 mm of the edge of all openings
Shelf Angles	1st Row within 200 mm of the Shelf Angle
Foundation	1st Row within 400 mm of the rebate



East Elevation

1:100

Cladding LEGEND:			
Selected Colorsteel Longrun Roofing			Dulux Ebony LRV Values <u>5</u>
Selected 70mm Brick with 50mm cavity			Midland Brick Euro- Blanco
Selected Stratum™ Weatherboard with 20mm cavity			Dulux Shag Rock Colour Values R 96 G 92 B 88 LRV Values <u>15</u>
All External window and door frame. garage door			Dulux Ebony LRV Values <u>5</u>

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Elevations

Project

LOT 191,
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Te Kauwhata

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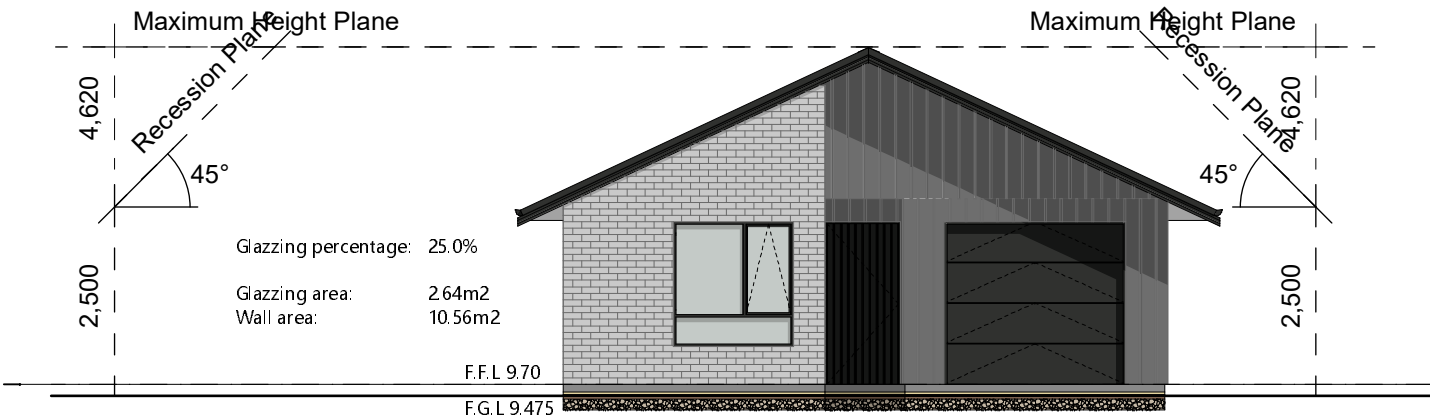


South Elevation

1:100

- Cladding Notes:**
- 1 Selected 70mm Midland Brick with 50mm cavity over "THERMAKRAFT WATERGATE Plus" building paper. Which show on the elevation.
 - 2 Selected BGC Stratum™ with 20mm cavity over "THERMAKRAFT WATERGATE Plus" building paper. Which show on the elevation.
 - 3 Selected Colorsteel Longrun Roofing over "Thermakraft Covertex 401" roof underlay with 250 roof pitch. Which show on the elevation.
 - 4 Selected COLORSTEEL 1/4 ROUND GUTTER over COLORSTEEL FASCIA. With 80mm Dia downpipes. Which show on the elevation.
 - 5 Refer to window and door schedule for joinery tapes and size.

Tie Spacings	
Veneers up to 140 kg/m² [70 mm thick veneers]	
Horizontally	400 mm crs into studs
Vertically	400 mm crs max.
Openings	Within 200 mm of the edge of all openings
Shelf Angles	1st Row within 200 mm of the Shelf Angle
Foundation	1st Row within 400 mm of the rebate



West Elevation

1:100

Cladding LEGEND:			
Selected Colorsteel Longrun Roofing			Dulux Ebony LRV Values <u>5</u>
Selected 70mm Brick with 50mm cavity			Midland Brick Euro- Blanco
Selected Stratum™ Weatherboard with 20mm cavity			Dulux Shag Rock Colour Values R 96 G 92 B 88 LRV Values <u>15</u>
All External window and door frame. garage door			Dulux Ebony LRV Values <u>5</u>

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Elevations

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